



The Barnard, Plot 16, "The Tofts" Bacchus Lane, South Cave, HU15 2ER

- 📍 Superb New Build
- 📍 Fabulous Specification
- 📍 Contemporary Living
- 📍 Council Tax Band = TBA

- 📍 4 Beds/3 Baths
- 📍 South Facing Garden
- 📍 Close to Village Centre
- 📍 Freehold/EPC = TBA

£499,950

INTRODUCTION

The Barnard (plot 16) is a simply stunning brand new 4 bedroomeed detached home, part of an exclusive new development close to the village centre. With an outstanding specification it's contemporary design offers the very best of modern living and includes a fabulous open plan kitchen/dining/day room area at the rear of the house with two pairs of sliding doors opening out to the large tiled terrace and garden. There is also a separate lounge with bay window, fitted utility room and cloaks/WC. At first floor are four good sized double bedrooms, two being en-suite. The fully equipped contemporary family bathroom has a superb feature bath with stunning floor standing taps and a separate shower enclosure with powerful rain head shower. Gardens extend to both front and rear. A block paved driveway leads up to the integral garage.

The property is to be conveyed with an NHBC 10 year New Home Warranty.

LOCATION

The Tofts is a brand new development situated in the beautiful village of South Cave. This highly desirable location is ideal for a family or commuter alike. There are excellent road and rail links together with a real community feel, evidenced in the numerous clubs and activities throughout the year.

The village of South Cave dates back to the 11th century and is listed in the doomsday book. An interesting piece of local history is that George Washington's great grandfather once lived at the magnificent Cave Castle.

This stunning development is nestled away off the 'no through road' of Bacchus Lane, close to the village centre where you can always find a friendly face and enjoy the more relaxing pace of village life.

The picturesque village of South Cave is situated at the foot of the Yorkshire Wolds, approximately 14 miles to the west of Hull and just 10 miles from the historic market town of Beverley.

This is a great location for the commuter, family or country lover alike. Instant access to the A63/M62 motorway network makes many regional and national business centres such as Leeds, Sheffield and Manchester easily accessible. The nearby village of Brough has a mainline railway station with regular services to Hull, Leeds, Manchester, Doncaster, York and London Kings Cross (approx 2 hours). Overseas travel is also made easy with Humberside Airport just 20 miles away, Doncaster Sheffield airport 38 miles away and Leeds Bradford airport is just 59 miles away. Thus, the village provides excellent links both locally and nationally.

Beverley - 10 miles

Hull - 14 miles

Humberside Airport - 20 miles

York - 28 miles

Doncaster - 37 miles

Leeds - 50 miles



THE DEVELOPMENT

Carefully chosen, high quality traditional materials have been used to shape the exterior of each home to ensure that collectively they have a bespoke, individual feel that will stand the test of time. The interiors are designed to embrace modern living with each home having a spacious open plan kitchen, dining, lounge area which steps out onto a large modern tiled terrace. These fabulous homes boast "stand out" specifications where the highest quality features, fittings and present day technologies combine seamlessly to provide homes that perfectly suit today's modern lifestyles.

If you are looking for a lifestyle which blends a beautiful place to live within a delightful village location and unrivalled ease of access to the surrounding area and beyond, then look no further.

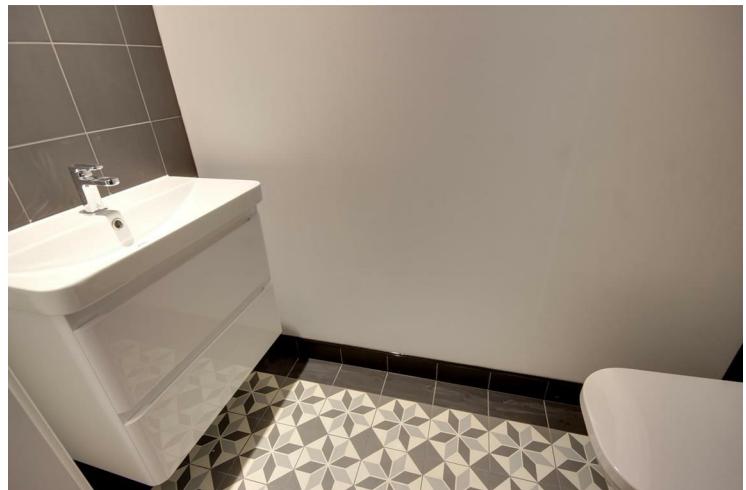
ENTRANCE HALL

A stunning oak and glass detailed staircase leading to the upstairs with cupboard beneath.



CLOAKS/W.C.

With W.C., wash hand basin and drawers, feature tiled floor.



LIVING ROOM

19'2" x 12'4" approx (5.84m x 3.76m approx)

Bay window to front, beautiful wood floor.



KITCHEN/DINING/DAY ROOM

30'1" x 14'8" approx (9.17m x 4.47m approx)

- Custom designed contemporary kitchen with island
- Feature integrated appliances
- 30mm Quartz worktops and upstands
- Composite stone undermounted one and a half bowl sink
- Stainless steel mixer tap
- Integrated full height larder fridge
- Integrated full height larder freezer
- High quality 'Siemens/Bosch' ovens and induction hob
- Integrated Bosch/Neff dishwasher
- Modern stainless steel extractor
- LED lighting to underside of wall cabinets





UTILITY

12'4" x 4'4" approx (3.76m x 1.32m approx)
Range of fitted units, work surfaces and plumbing.



FIRST FLOOR

LANDING

Oak and glass detailed balustrade.



BEDROOM 1

14'8" x 12'4" approx (4.47m x 3.76m approx)

Window to rear.



EN-SUITE

9'0" x 6'9" approx (2.74m x 2.06m approx)

Beautiful tiling. Wall mounted W.C., wash hand basin with drawer and mirrored cabinet above, "walk in" shower area with glazed partition, rainhead and hand held shower system.



BEDROOM 2

14'1" x 12'4" approx (4.29m x 3.76m approx)

With window to front.



EN-SUITE

6'10" x 6'9" approx (2.08m x 2.06m approx)

Beautiful tiling. Low level W.C., wash hand basin with drawers and illuminated mirror over, "walk in" shower with glazed partition.



BEDROOM 3

14'7" x 10'4" approx (4.45m x 3.15m approx)

Window to rear.



BEDROOM 4

15'7" x 10'5" approx (4.75m x 3.18m approx)

Window to front.



BATHROOM

12'4" x 6'11" approx (3.76m x 2.11m approx)

A stunning room with freestanding bath, wall mounted W.C., wash hand basin with drawers and illuminated mirror above, "walk in" shower with glazed partition.



OUTSIDE

Garden space to front. Block set driveway to integral garage. Rear garden set to extensive paved patio, lawn and fencing to perimeter.

SPECIFICATION & FINISHES

The properties are specified to the highest standards and include beautiful oak doors and architraves, contemporary kitchen, modern designer bathrooms, high end appliances (Siemens/Bosch/Neff), zone controlled underfloor heating to the ground floor, oak and glass staircase, CAT 6 cabling around the home and high quality aluminium glazed doors opening out to modern tiled terraces.

EXTERNAL FEATURES

- Block paved driveways
- High quality porcelain patios
- Outside tap
- Modern external lighting
- Turfed front and rear gardens
- Vertical double-sided boundary fencing
- Dark Grey uPVC double glazed windows
- Painted aluminium glazed 'Bi-fold' or 'Sliding Doors' to rear

INTERNAL FINISHES

- Designer oak internal doors, frames and architraves
- Modern brushed S/S door furniture and fittings
- Feature solid oak and glass staircase
- Contemporary moulded skirting with white satin finish
- Underfloor heating throughout the ground floor
- Flat skim finish ceilings and walls
- Large format porcelain tiles to rear open plan living area

BATHROOM & EN-SUITES

- Individually designed bathrooms
- Rimless wall hung toilets with soft close seat
- Feature bath
- Modern designer chrome bath taps
- Low profile shower trays
- Frameless glass shower screens
- Concealed thermostatically controlled shower valves
- Large rain shower heads
- Feature LED mirrors
- Contemporary wall tiling to bathroom and en-suites

UTILITY

- Custom designed contemporary cabinets
- 30mm Quartz worktops and upstands
- Plumbing for washing machine and tumble dryer

ELECTRICAL

- LED downlights to kitchen, utility, bathrooms and en-suites
- Electric garage door with remote control (4 bed houses only)
- Lighting and power points to the garage (4 bed houses only)
- Pre-installed TV aerial
- Low energy lighting throughout
- Integrated smoke alarms
- High speed fibre internet available
- CAT 6 cabling to key locations

PLUMBING & HEATING

- High quality 'Ideal Logic' and 'Worcester Bosch' boilers
- Zone controlled thermostatic underfloor heating
- White enamel panel radiators to all bedrooms
- Chrome heated towel radiators to all bathrooms and en-suites

WARRANTY

- NHBC Buildmark 10 year new build warranty

TENURE

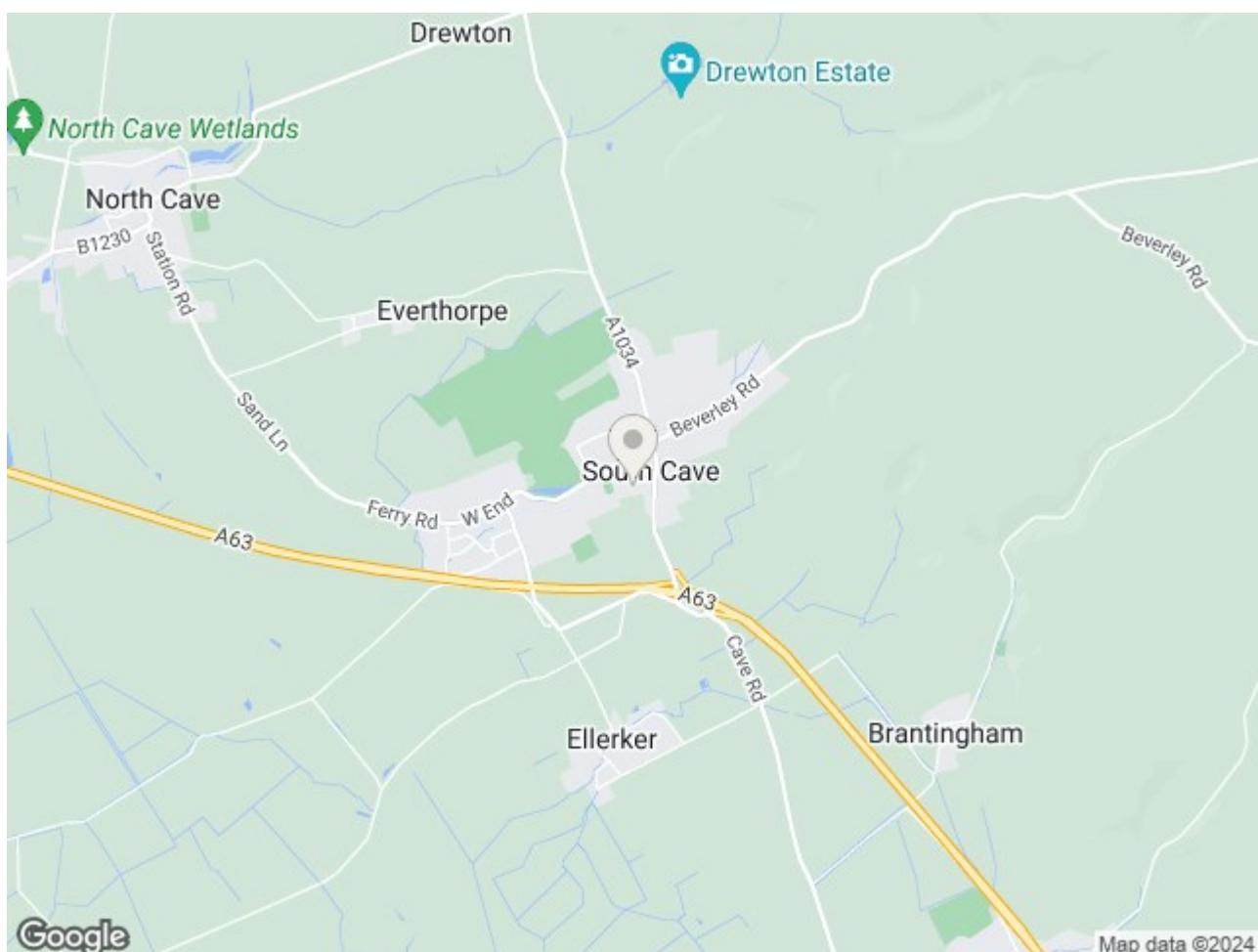
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PHOTOGRAPH DISCLAIMER

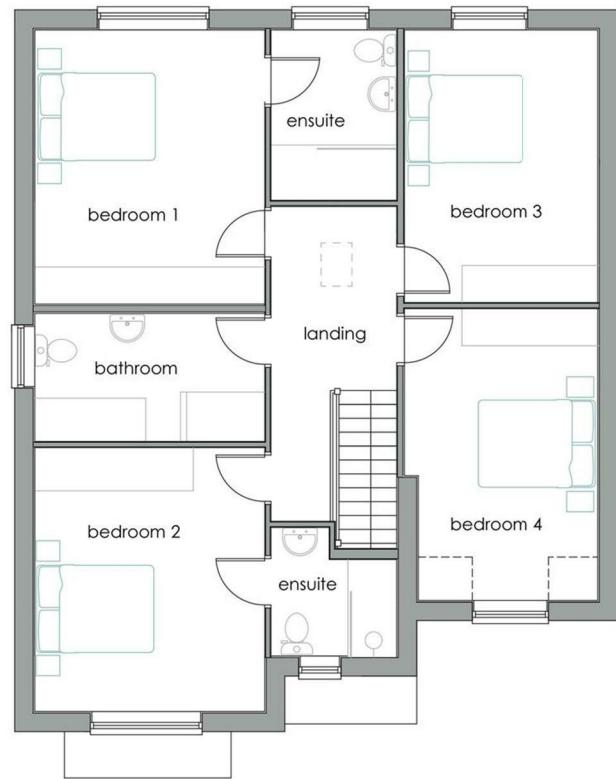
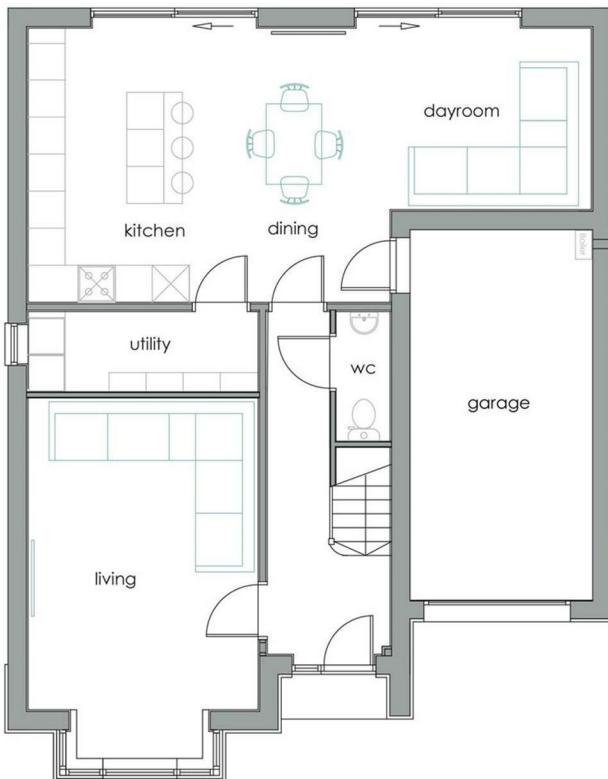
The photos are from plot 7 or plot 31 (same house type) which are both construction complete. In order to capture the features of a particular room we will mostly use wide angle lens photography. This will sometimes distort the image slightly and also has the potential to make a room look larger. Please therefore refer also to the room measurements detailed within this brochure.

CONDITIONS OF SALE

Whilst every effort is made to ensure the accuracy of these details, the building process is subject to continuous development of new products and processes and the developer reserves the right to change the specification and possibly the price structure without notice, prior to reservation. All sketches and plans contained within this brochure are for illustration and identification purposes only. All measurements given are approximate only. Any intending purchasers must satisfy themselves by inspection or otherwise about the correctness about each statement contained within these particulars. Please clarify any point of particular importance to you and check specification and materials before making an offer. These particulars do not constitute any part of an offer or contract and are subject to the properties not being sold. Details contained herein are correct at the time of print.



Plots 7 and 9 are a mirror image of this floorplan.



Energy Efficiency Rating

	Current	Potential
<i>Very energy efficient - lower running costs</i>		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
<i>Not energy efficient - higher running costs</i>		
England & Wales	EU Directive 2002/91/EC	

Environmental Impact (CO₂) Rating

	Current	Potential
<i>Very environmentally friendly - lower CO₂ emissions</i>		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
<i>Not environmentally friendly - higher CO₂ emissions</i>		
England & Wales	EU Directive 2002/91/EC	